

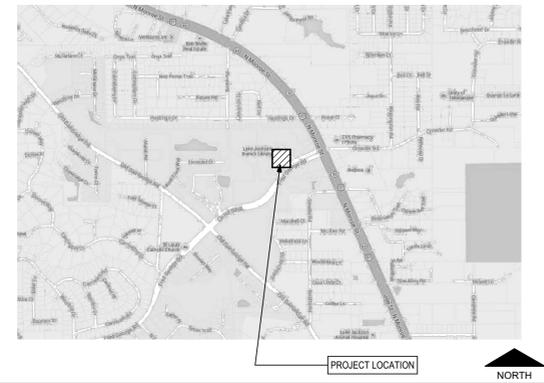
# Lake Jackson Town Center at Huntington Oaks Roof

3840 North Monroe St. Tallahassee, FL 32303  
for

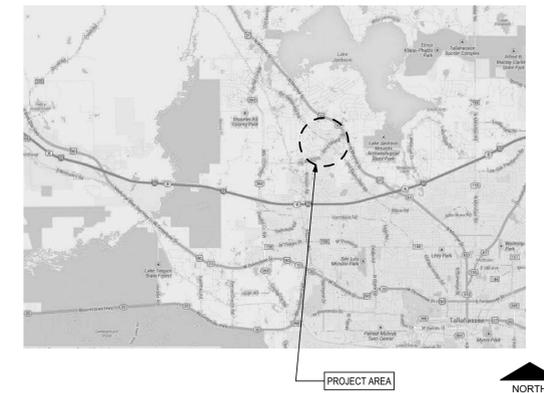
Leon County

## 100% Construction Documents

September 23, 2013  
AL+W Project #11196.3



Location Map



Area Map

**Legend of Architectural Symbols:**

- BUILDING SECTION REFERENCE:** 1 (circle), A1.1 (triangle)
- WALL SECTION REFERENCE:** 1 (circle), A1.1 (triangle)
- DETAIL REFERENCE:** 1 (circle), A1.1 (triangle)
- PROJECT NORTH:** Arrow pointing up
- FINISH COLOR:** Circle with 'C1'
- ELEVATION REFERENCE POINT:** Circle with '1' and 'A1.1'
- CONSTRUCTION NOTES:** Square with '2'
- DEMOLITION NOTES:** Square with 'A'
- REVISION:** Triangle with 'A'
- NUMBER INDICATES SECTION, ELEVATION OR DETAIL:** 1 (circle), A1.1 (triangle)
- SHEET NUMBER WHERE ELEVATION, SECTION OR DETAIL IS DRAWN:** A5.1 (triangle)
- DASH AND DOT:** Dashed line with dots (Fire Rated Walls)
- DOUBLE DASHED LINE:** Two parallel dashed lines (Property Lines, Boundry Lines)
- DASHED LINES:** Dashed line (Hidden, Future, or Exist. Const. to be Removed)
- BREAK LINE:** Zigzag line (To Break Off Parts of Drawing)
- SINGLE DASH LINE:** Single dashed line (Column Lines)

**Architectural General Notes:**

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- ALL DIMENSIONS ARE TO THE FACE OF STUD OR STUD TRACK, CENTER LINE OF STUD OR STUD TRACK, FACE OF MASONRY AND TO THE CENTER LINE OF STRUCTURAL STEEL COLUMNS, UNLESS OTHERWISE INDICATED.
- WHERE STRUCTURAL DESIGN LOADS ARE NOT PROVIDED FOR ANY COMPONENTS REQUIRING MANUFACTURER OR FABRICATOR ENGINEERING, AND MINIMUM LOADING CONDITIONS ARE NOT PROVIDED IN APPLICABLE CODES AND STANDARDS, CONSULT ARCHITECT PRIOR TO PROCEEDING.
- DIMENSIONS FOR PATHS OF EGREGES INCLUDING CORRIDORS AND STAIRS SHALL MEAN CLEAR WIDTH BETWEEN CORRIDOR WALLS, AND AT STAIRS CLEAR WIDTH BETWEEN WALLS OR CURBS.
- DO NOT SCALE DRAWINGS, IF THERE IS A CONFLICT IN DIMENSIONS OR IF THERE IS INSUFFICIENT DIMENSIONING, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING.
- IF AN ORDER OF PRECEDENT FOR THE INTERPRETATION OF DOCUMENTS IS NOT PROVIDED IN THE PROJECT MANUAL (IF PROVIDED), AND A CONFLICT OCCURS IN THE SPECIFICATIONS, ON THE DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, CONTACT THE ARCHITECT. ALL REQUEST FOR CLARIFICATION TO THE ARCHITECT SHALL BE MADE IN WRITING. THE ARCHITECT'S RESPONSE SHALL BE MADE IN WRITING AND NO FORMAL INSTRUCTIONS SHALL BE GIVEN VERBALLY.
- WHERE CLEAR DIMENSIONS ARE INDICATED, THIS SHALL MEAN CLEAR WIDTH FROM FINISHED WALL TO FINISHED WALL OR CLEAR FLOOR AREA BETWEEN BUILDING COMPONENTS.
- ALL FIRE RATED PARTITION OR WALL ASSEMBLIES SHALL EXTEND FROM THE FLOOR SLAB TO THE UNDERSIDE OF THE BUILDING STRUCTURE AND/OR DECK ABOVE. ALL PENETRATIONS IN RATED CONSTRUCTION SHALL BE PROPERLY SEALED TO INSURE THE RATING IS MAINTAINED.
- ALL FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLIES SHALL BE CONTINUOUS BETWEEN PARTITIONS AND/OR WALLS FOR THE SPACE OR HORIZONTAL AREA INDICATED. ALL PENETRATIONS IN RATED CONSTRUCTION SHALL BE PROPERLY SEALED TO INSURE THE RATING IS MAINTAINED.
- TYPICAL AND STANDARD DETAILS MAY BE PROVIDED IN THE DRAWINGS. IF A SPECIFIC DETAIL IS NOT PROVIDED FOR CONDITION OF FABRICATION AND/OR INSTALLATION, CONTACT THE ARCHITECT PRIOR TO PROCEEDING.
- THE INSTALLATION OF MECHANICAL, PLUMBING AND ELECTRICAL ITEMS (INCLUDING UTILITIES, ROUGH-INS, SYSTEM COMPONENTS AND FINISHED FIXTURES) IN EXPOSED TO VIEW AREAS OR SPACES SHALL BE UNDERTAKEN WITH SKILL AND CRAFTSMANSHIP TO PROVIDE A FINISHED CONDITION ACCEPTABLE TO THE ARCHITECT. ALL EXPOSED TO VIEW ITEMS SHALL BE FINISHED WITH PAINT UNLESS OTHERWISE SPECIFIED TO BE PREFINISHED OR NOT TO BE PAINTED.
- THESE GENERAL NOTES HAVE THE SAME AUTHORITY AS OTHER NOTES AND REFERENCES IN THE DRAWINGS OR SPECIFICATIONS AND SHALL NOT BE EXCLUDED IN THE EXECUTION OF THE WORK. THEY MAY REQUIRE COORDINATION BETWEEN VARIOUS TRADE CONTRACTORS. IN ADDITION TO THESE GENERAL NOTES, REFER TO DEMOLITION AND CONSTRUCTION NOTES SPECIFIC TO EACH DRAWING.
- THE CONTRACTOR SHALL ERRECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH, INCLUDING POSTING DANGER SIGNS AND OTHER WARNING AGAINST HAZARDS, AS WELL AS PROMULGATING SAFETY STANDARDS.
- THE CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY THE OWNER FOR ON-SITE STORAGE OF MATERIALS
- THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY. THE WORK PREMISE SHALL BE CLEAN AT COMPLETION OF JOB AND BEFORE FINAL PAYMENT IS MADE.
- THE CONTRACTOR SHALL TAKE CARE NOT DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RESTORING AREAS DAMAGED BY THE CONTRACTOR (MATERIALS, FINISHES, ETC.) TO THEIR ORIGINAL CONDITIONS. SURFACES SHALL BE REPAINTED TO MATCH EXISTING ADJACENT FINISHES.

**Standard Abbreviations:**

A/C	-AIR CONDITIONING	FD	-FLOOR DRAIN	M	-METER	SAN	-SANITARY
ACI	-AMERICAN CONCRETE INSTITUTE	FEB	-FIRE EXTINGUISHER W/ BRACKET	MATL	-MATERIAL	SC	-SOLID CORE
ACT	-ACOUSTICAL CEILING TILE	FEC	-FIRE EXTINGUISHER IN CABINET	MAX	-MAXIMUM	SECT	-SECTION
ADJ	-ADJACENT	FF	-FINISH FLOOR	MC	-MECHANICAL	SEW	-SEWER
AFF	-ABOVE FINISH FLOOR	FHC	-FIRE HOSE CABINET	MECH	-MECHANICAL	SF	-SQUARE FEET
ALT	-ALTERNATE	FIN	-FINISH	MTL	-METAL	SGL	-SINGLE
ALUM	-ALUMINUM	FL	-FLOOR	MEZZ	-MEZZANINE	SIM	-SIMILAR
ASTM	-AMERICAN SOCIETY OF TSTG. & MTLs.	FLG	-FLASHING	MFR	-MANUFACTURER	SJ	-SAWED JOINT
BD	-BOARD	FT	-FOOT OR FEET	MIN	-MINIMUM	SPKLR	-SPRINKLER
BLDG	-BUILDING	FTG	-FOOTING	MISC	-MISCELLANEOUS	SQ	-SQUARE
BLT	-BOLT	GA	-GAUGE	MK	-MARK	SST	-STAINLESS STEEL
BM	-BEAM	GALV	-GALVANIZED	MO	-MASONRY OPENING	STD	-STANDARD
BOT	-BOTTOM	GEN	-GENERAL	MTD	-MOUNTED	STL	-STEEL
BRG	-BEARING	GND	-GROUND	MULL	-MULLION	STOR	-STORAGE
C/C	-CENTER TO CENTER	GWB	-GYPSUM WALLBOARD	N	-NORTH	STRUCT	-STRUCTURAL
CEM	-CEMENT	GYP	-GYPSUM	NA	-NOT APPLICABLE	SUSP	-SUSPENDED
CF	-CUBIC FEET	HC	-HANDICAPPED ACCESSIBLE	NIC	-NOT IN CONTRACT	TBD	-TO BE DETERMINED
CFM	-CUBIC FEET PER MINUTE	HDR	-HEADER	NOM	-NOMINAL	TEL	-TELEPHONE
CG	-CORNER GUARD	HDRL	-HANDRAIL	NS	-NON SHRINK	TEMP	-TEMPORARY, TEMPERATURE
CIR	-CIRCLE, CIRCULAR	HM	-HOLLOW METAL	NTS	-NOT TO SCALE	T&G	-TONGUE & GROOVE
CIP	-CAST-IN-PLACE	HORZ	-HORIZONTAL	OC	-OVERALL	THK	-THICK
CJ	-CONTROL JOINT	HGT	-HEIGHT	OA	-ON CENTER	TOB	-TOP OF BEAM
CLG	-CEILING	ID	-INSIDE DIAMETER (DIM.)	OD	-OUTSIDE DIAMETER	TOC	-TOP OF CONCRETE
CLO	-CLOSET	IN	-INCHES	OH	-OVERHEAD	TOF	-TOP OF FOOTING
CLR	-CLEARANCE, CLEAR	INSUL	-INSULATION	OP	-OPPOSITE	TOS	-TOP OF STEEL
CMU	-CONCRETE MASONRY UNIT	INT	-INTERIOR	OPPH	-OPPOSITE HAND	TS	-STRUCTURAL TUBE STEEL
COL	-COLUMN	JAN	-JANITOR	PCF	-POUNDS PER CUBIC FOOT	TV	-TELEVISION
COMP	-COMPRESSOR, COMPOSITE	JB	-JAMB	PKG	-PARKING	TYP	-TYPICAL
CONC	-CONCRETE	JT	-JOINT	PL	-PLATE	UNF	-UNFINISHED
CONSTR	-CONSTRUCTION	K	-KIPS (KILO POUND OR 1000LBS.)	PLAM	-PLASTIC LAMINATE	UNON	-UNLESS OTHERWISE NOTED
CONT	-CONTINUOUS	KD	-KILN DRIED	PLYWD	-PLYWOOD	UR	-URINAL
CORR	-CORRUGATED	L	-STEEL ANGLE, LENGTH	PNL	-PANEL	VCT	-VINYL COMPOSITION TILE
CS	-COUNTERSINK	LAM	-LAMINATED	PR	-PAIR	VB	-VAPOR BARRIER
CTR	-CENTER	LAV	-LAVATORY	PREP	-PREPARATION	VERT	-VERTICAL
DBL	-DOUBLE	LBS	-POUNDS	PREP	-PREPARATION	VEST	-VESTIBULE
DEFS	-DIRECT APPLIED EXT FINISH SYSTEM	LH	-LEFT HAND	PSF	-POUNDS PER SQUARE FOOT	VFY	-VERIFY
DEG	-DEGREES	LL	-LIVE LOAD	PT	-PRESSURE TREATED, PAINT, POINT	VOL	-VOLUME
DTL	-DETAIL	LLH	-LONG LEG HORIZONTAL	PVC	-POLYVINYL CHLORIDE	VT	-VINYL TILE
DF	-DRINKING FOUNTAIN	LLV	-LONG LEG VERTICAL	PVMT	-PAVEMENT	W/	-WITH
DIA	-DIAMETER	LTL	-LONG TEL	QC	-QUALITY CONTROL	W/C	-WATER CLOSET
DIM	-DIMENSION	LTV	-LIGHTWEIGHT	QT	-QUARRY TILE	WD	-WOOD
DN	-DOWN	LVR	-LOUVER	REF	-REFERENCE	W/O	-WITHOUT
DS	-DOWNSPOUT	EA	-EACH	REINF	-REINFORCED, REINFORCEMENT	WP	-WATERPROOF, WORKING POINT
DTL	-DETAIL	EJ	-EXPANSION JOINT	REQD	-REQUIRED	WWF	-WELDED WIRE FABRIC
DWVG	-DRAWING	ELEC	-ELECTRICAL	REV	-REVISION		
		ELEV	-ELEVATOR, ELEVATION	RH	-RIGHT HAND		
		ENCL	-ENCLOSURE	RM	-ROOM		
		EQ	-EQUIPMENT	RO	-ROUGH OPENING		
		EQUIP	-EQUIPMENT				
		EWC	-ELECTRICAL WATERCOOLER				
		EXH	-EXHAUST				
		EX	-EXISTING				
		EXT	-EXTERIOR				

**Applicable Codes:**

Florida Building Code, Building (FBC-B)	2010 Edition
Florida Building Code, Existing Building (FBC-EB)	2010 Edition
Florida Building Code, Mechanical	2010 Edition
Florida Building Code, Fuel Gas	2010 Edition
Florida Building Code, Plumbing	2010 Edition
Florida Building Code, Accessibility	2012 Edition
Florida Fire Prevention Code (FFPC)	2010 Edition
National Electrical Code (NEC)	2008 Edition

**NOTE:** CONTRACTOR SHALL PROVIDE ANY INFORMATION AND/OR PRODUCT APPROVAL NUMBERS AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72

**Index of Drawings:**

#	Name
CS	Cover Sheet, Abbreviations, General Notes, Symbols and Index of Drawings
A1.1	Roof Plan
A1.2	Roof Details
A1.3	Roof Details
S1.1	Roof Framing Plan

**Legend of Architectural Symbols:**

**Architectural General Notes:**

**Standard Abbreviations:**

**Index of Drawings:**

PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:
CONCEPT SCHEMATIC DESIGN				1.			
ADVANCED SCHEMATIC DESIGN				2.			
DESIGN DEVELOPMENT				3.			
50% CONSTRUCTION DOCUMENTS	SM	R. LEWIS	9/12/2013	4.			
BID DOCUMENTS				5.			
100% CONSTR. DOCUMENTS	SM	R. LEWIS	9/23/2013	6.			

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Seal:

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architecture interior design planning

200 west virginia st | tallahassee, fl 32301  
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www.rhw3d.net

Description:

**Cover Sheet, Abbreviations, General Notes, Symbols and Index of Drawings**

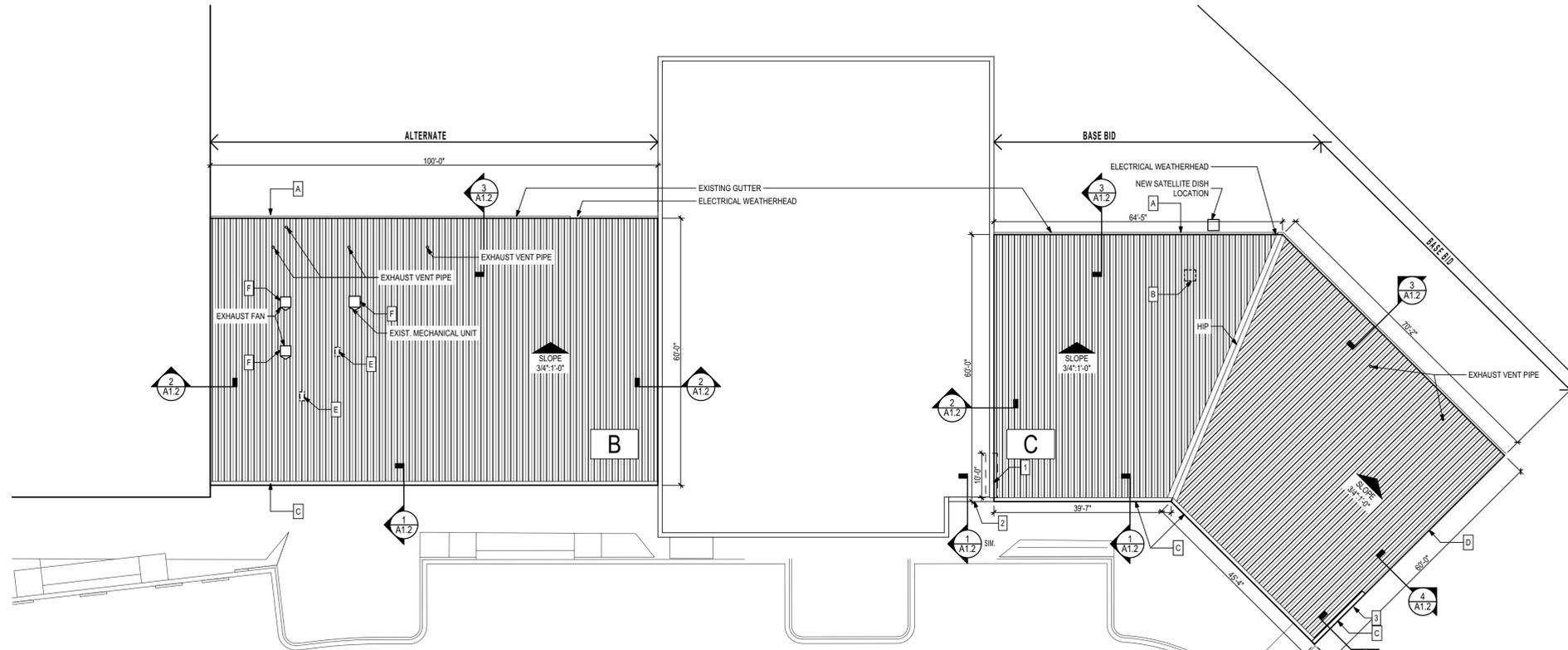
Sheet No: CS

**Demolition Notes**

- A** EXISTING GUTTER AND DOWNSPOUTS TO REMAIN. PROVIDE TEMPORARY CONSTRUCTION/COVER TO EXISTING ROOF EDGE CONDITION IN ORDER TO MAINTAIN WEATHER TIGHTNESS AT ALL TIMES.
- B** REMOVE EXISTING SATELLITE DISH FROM ROOF AND COORDINATE WITH OWNER TO HAVE DISH PROVIDER MOUNT DISH ON REAR CMU WALL. WIRING PENETRATION THROUGH EXTERIOR WALL SHALL BE RESPONSIBILITY OF DISH PROVIDER.
- C** REMOVE EXISTING METAL COPING AS REQUIRED TO PROVIDE NEW BLOCKING FOR COPING CONSTRUCTION PER DETAILS. PROVIDE TEMPORARY CONSTRUCTION/COVER TO EXISTING COPING CONDITION IN ORDER TO MAINTAIN WEATHER TIGHTNESS AT ALL TIMES.
- D** REMOVE EXISTING RAKE METAL TRIM AND DISPOSE OF PER SPECIFICATIONS.
- E** EXISTING ROOF CURBS TO BE REMOVED. PROVIDE SHEET METAL PANEL AT OPENING, MATCHING ROOF GAUGE PRIOR TO INSTALLATION OF NEW ROOF.
- F** CONTRACTOR'S OPTION TO REMOVE ROOF TOP EQUIPMENT AND PROVIDE NEW EQUIPMENT CURB ROOF-OVER, AS OPPOSED TO SPLIT SEAM CURB SYSTEM PER DETAILS ON A1.3. EQUIPMENT REMOVAL SHALL BE COORDINATED WITH BUILDING OCCUPANTS AND SCHEDULED DURING NON OCCUPIED HOURS.

**Construction Notes**

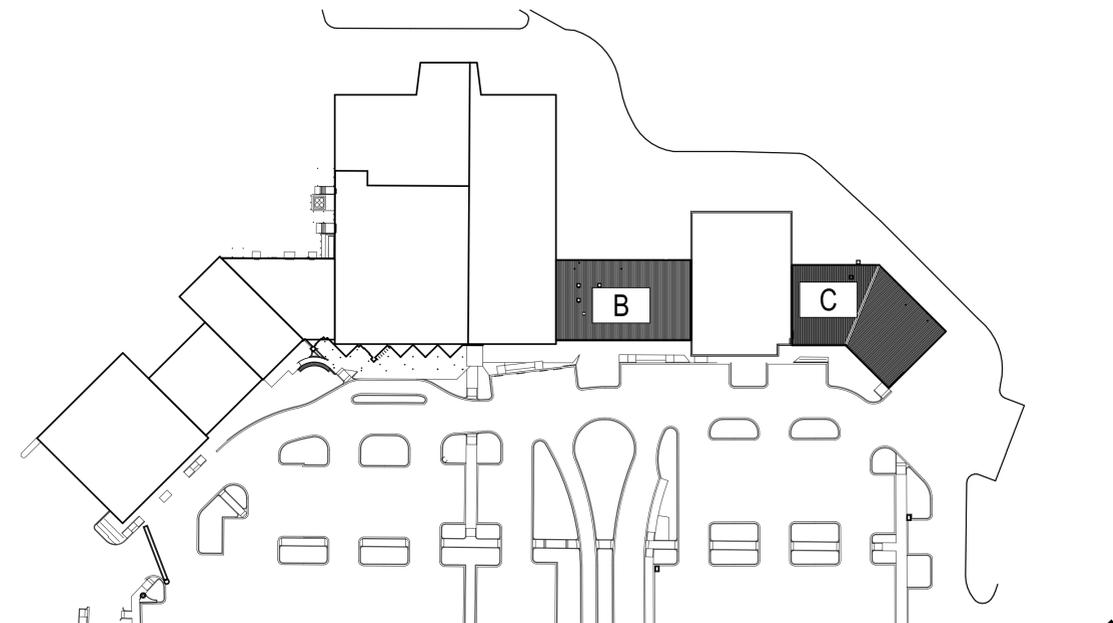
- 1** REMOVE PORTION OF EXISTING PARAPET CAP IN ORDER TO PROVIDE NEW COUNTER FLASHING OVER TOP OF WALL. REINSTALL EXISTING PARAPET CAP AND SEAL ALL SEAMS - TYP.
- 2** EXISTING ADJACENT PARAPET CAP TO BE RAISED TO MATCH DETAIL 1/A1.2.
- 3** REPLACE EXISTING PARAPET CAP PER SIMILAR DETAIL 2/A1.2



**1 Roof Plan**  
1/16" = 1'-0"

**General Construction Notes**

1. THE CONTRACTOR SHALL EXAMINE THE SITE AND EXISTING CONDITIONS AND BECOME FAMILIAR WITH ALL CONDITIONS WHICH MAY AFFECT THE WORK, PRIOR TO STARTING.
2. DIMENSIONS INDICATED FOR NEW PARTITIONS ARE TO THE CENTER OF PARTITION OR EDGE OF STUD FOR METAL PARTITIONS. MASONRY PARTITIONS ARE TO EDGE OF WALL (OR SLAB EDGE).
3. ALL NEW WALL SURFACES SHALL BE FINISHED AND PAINTED PER SPECIFICATIONS.
4. CLEAN AND PREP ALL AREAS WITHIN SCOPE OF WORK TO RECEIVE NEW FINISHES.
5. DIMENSIONS INDICATED FOR EX. CONSTRUCTION ARE ACCURATE TO +/- 1".
6. CONTRACTOR SHALL PATCH AND REPAIR ALL WALLS THAT ARE IMPACTED BY MECHANICAL AND/OR ELECTRICAL CONDUIT, PIPING, AND ALL OTHER MISC DEVICES
7. ALL WORK IS TO BE LAID OUT TRUE, SQUARE, AND PLUMB, AND TO EXACT AND CORRECT DIMENSIONS. IF DIMENSIONAL DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER AND THE ARCHITECT IN WRITING PRIOR TO PROCEEDING. THE ARCHITECT WILL ISSUE A DIMENSIONAL OR LAYOUT CORRECTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL TRADES AND WORK, INCLUDING WORK OF OTHERS WHERE AFFECTED.
9. THE CONTRACTOR SHALL PROVIDE BARRICADES, DUST CONTROL, TEMPORARY POWER, LIGHTING, TELEPHONE SERVICE, ETC. AS REQUIRED TO COMPLETE THE WORK.
10. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF COMPLETE AND CURRENT DRAWINGS AVAILABLE FOR REVIEW AT THE JOB SITE AT ALL TIMES. ALL FIELD MODIFICATIONS TO THE ORIGINAL DESIGN DOCUMENTS SHALL BE NOTED AND MAINTAINED FOR THE OWNER'S RECORD COPY.
11. CONTRACTOR SHALL COORDINATE ACCESS TO ALL OCCUPIED BUILDING SPACES WITH THE OWNER. ACCESS MAY BE REQUIRED AFTER BUSINESS HOURS AND MAY REQUIRE EXTENDED WORK HOURS. ALL DISTURBED AREAS SHALL BE CLEANED AND RETURNED TO ORIGINAL CONDITION ONCE WORK IS COMPLETE.
12. COORDINATE ALTERNATE WORK SCOPE BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS AS OUTLINED IN THE PROJECT MANUAL.



**Key Plan**  
1/64" = 1'-0"

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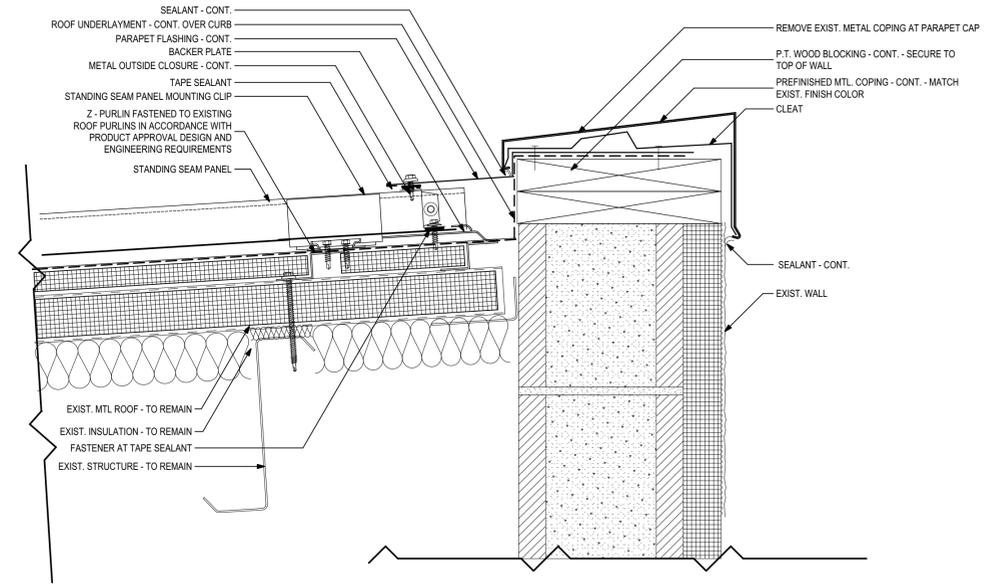
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PH: 850.671.7230

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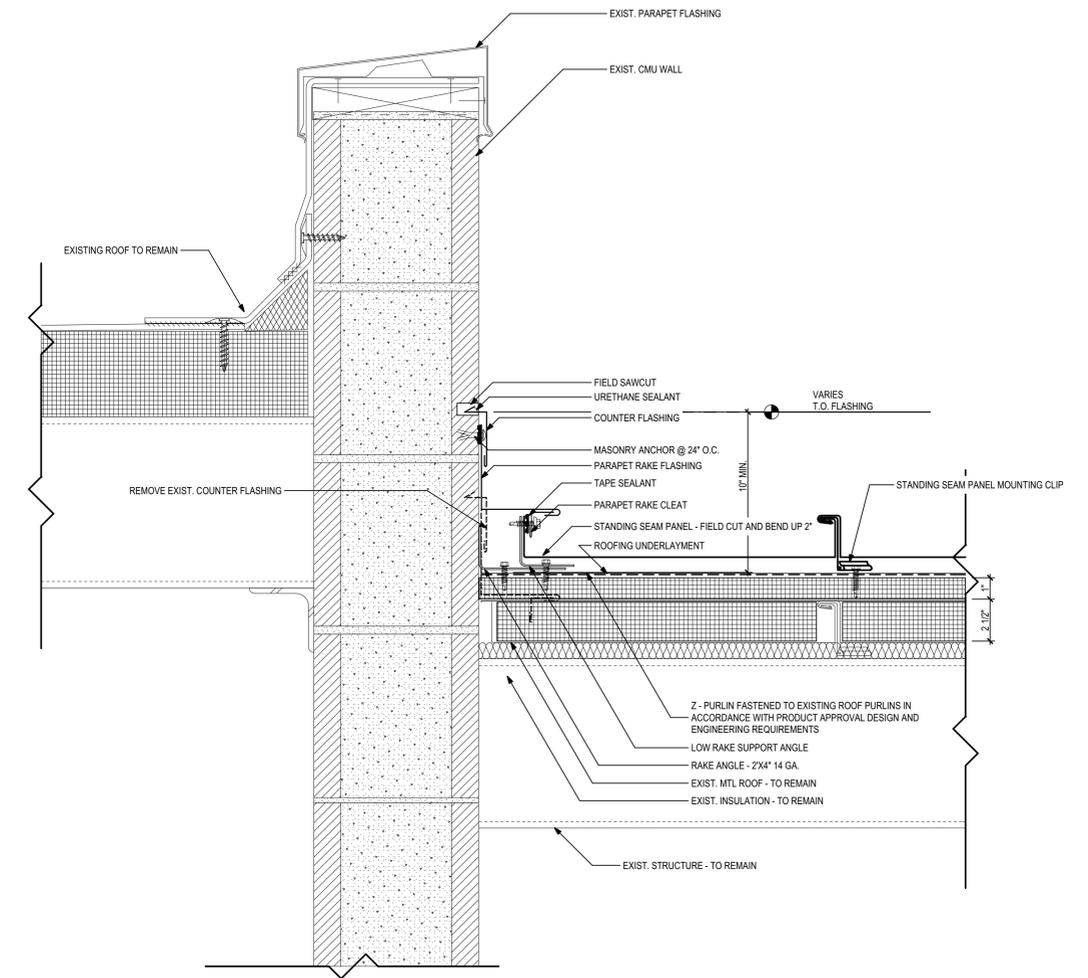
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ph: 850 942 1718 | fax: 850 942 2110  
www.lwfirm.com  
FL AA0003316

Description:  
**Roof Plan**

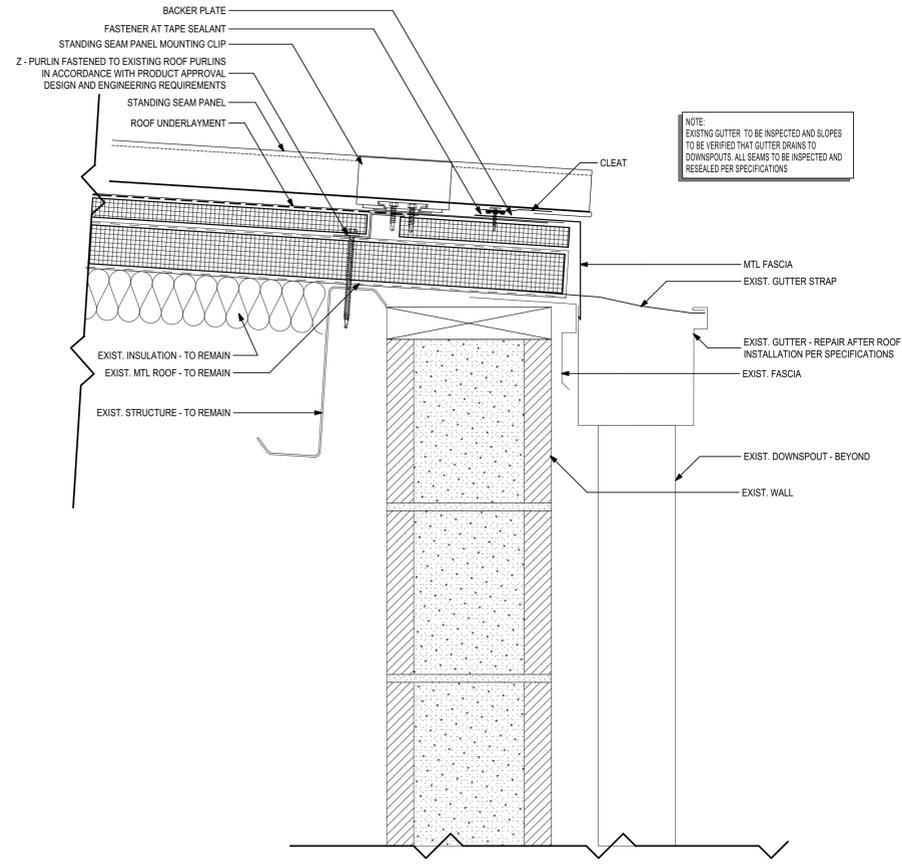
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**A1.1**



**1 Parapet Ridge Detail**  
3" = 1'-0"

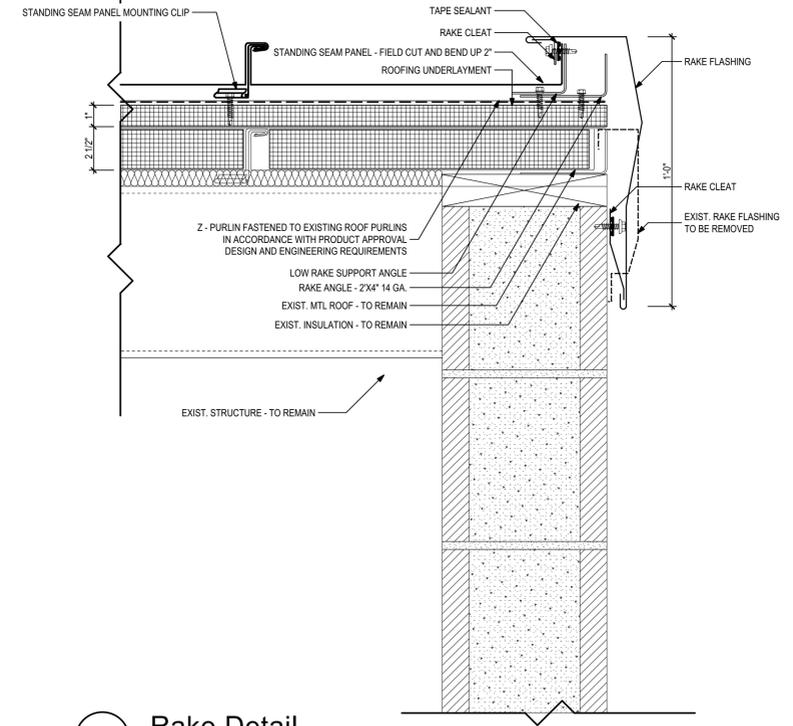


**2 Parapet Rake Detail**  
3" = 1'-0"

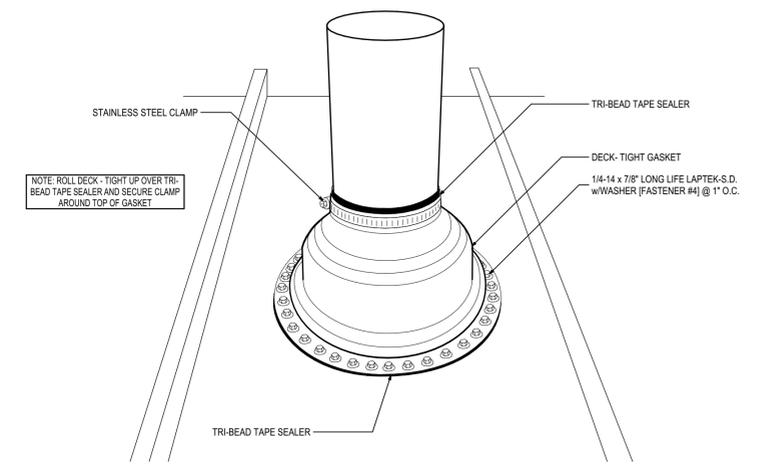


NOTE:  
EXISTING GUTTER TO BE INSPECTED AND SLOPES TO BE VERIFIED THAT GUTTER DRAINS TO DOWNSPOUTS. ALL SEAMS TO BE INSPECTED AND RESEALED PER SPECIFICATIONS

**3 Eave Detail at Gutter**  
3" = 1'-0"



**4 Rake Detail**  
3" = 1'-0"



NOTE: ROLL DECK - TIGHT UP OVER TRI-BEAD TAPE SEALER AND SECURE CLAMP AROUND TOP OF GASKET

**5 VTR Penetration Detail**  
3" = 1'-0"

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Consultant:

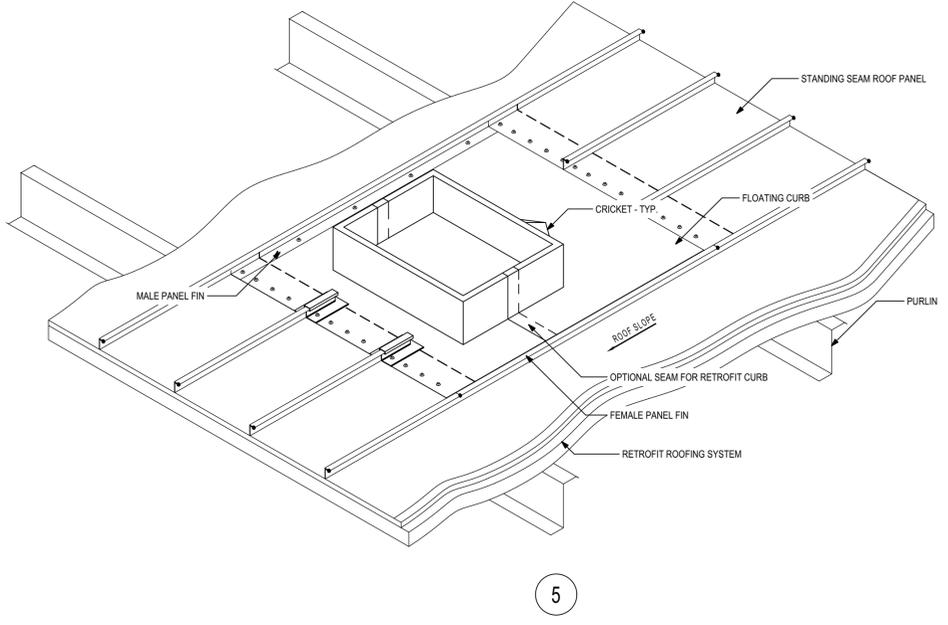
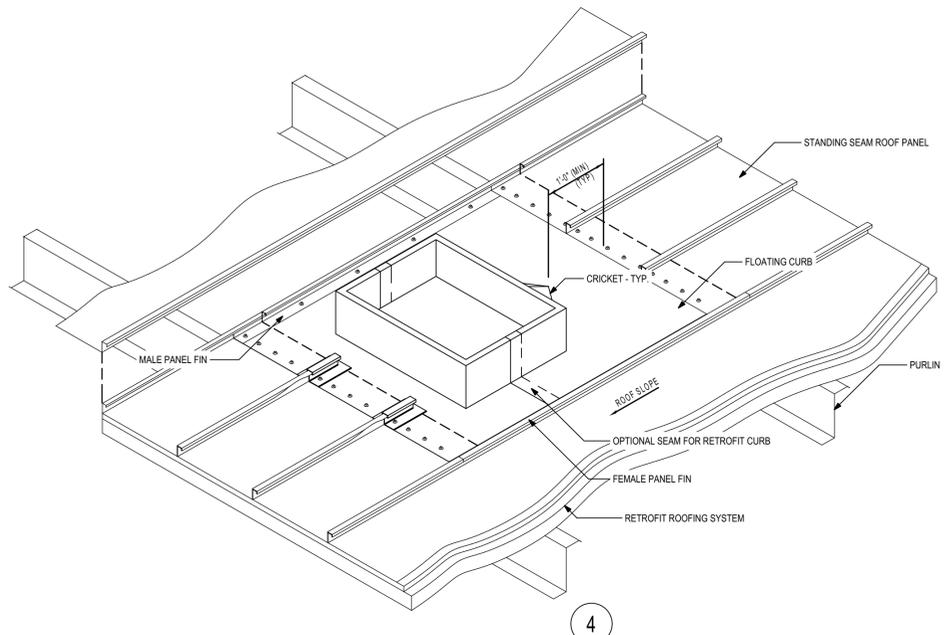
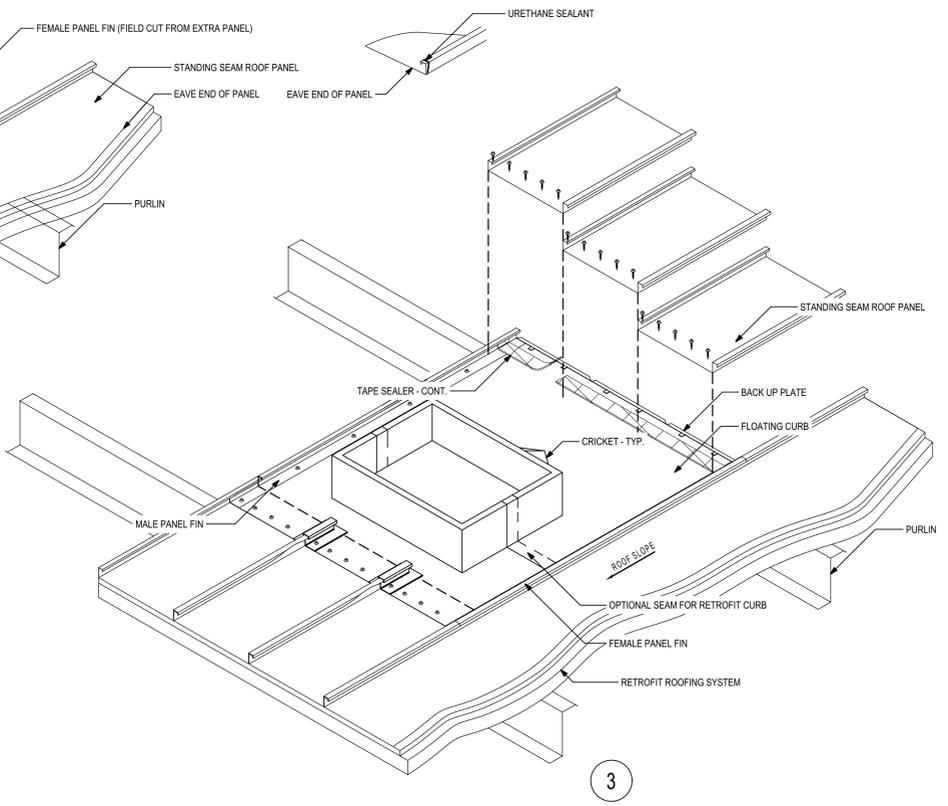
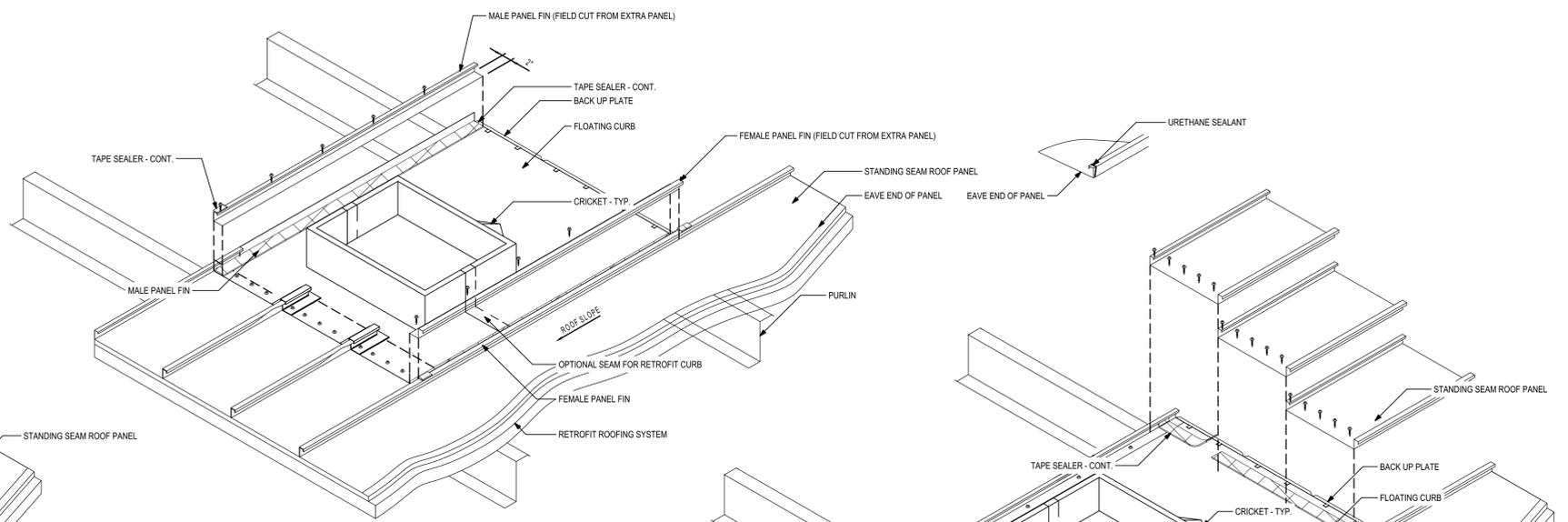
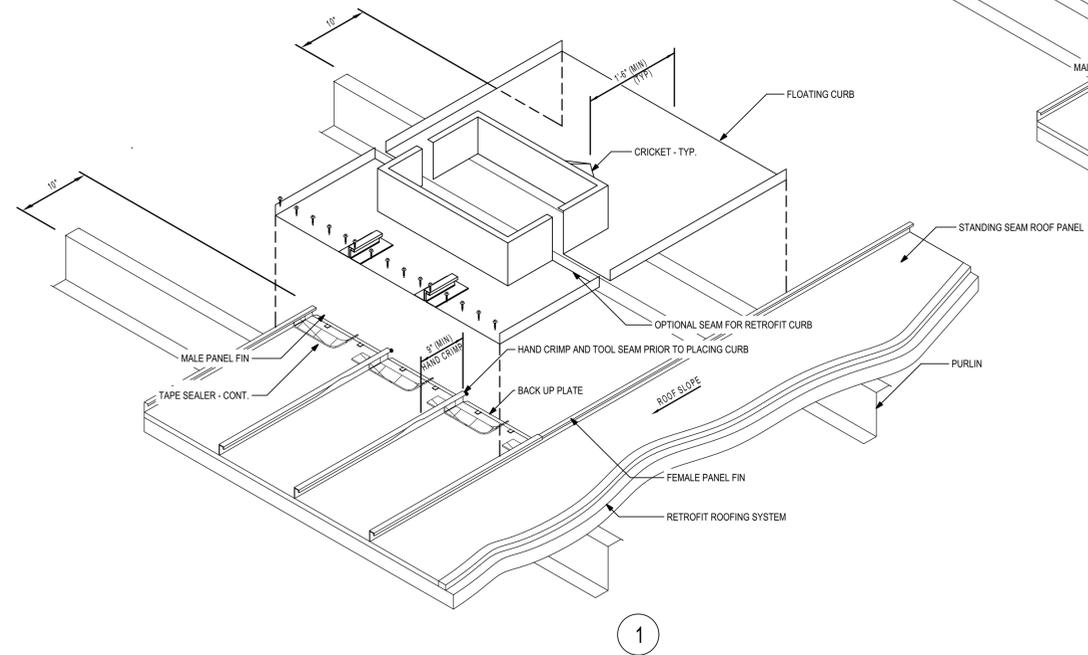
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FL AA0003316

Description:  
**Roof Details**

Sheet No:  
**A1.2**



1 Roof Curb Detail  
1" = 1'-0"

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ph: 850 942 1718 | fax: 850 942 2110  
www.lwink3d.net

architecture interior design planning  
FL AA0003316

Description:  
**Roof Details**

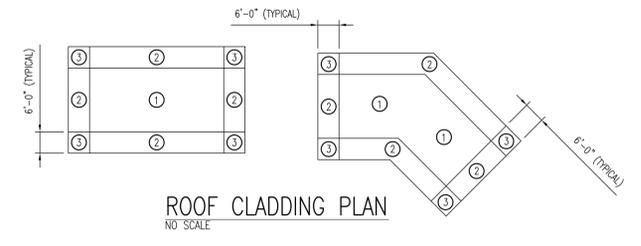
Sheet No:  
**A1.3**

**STRUCTURAL NOTES**

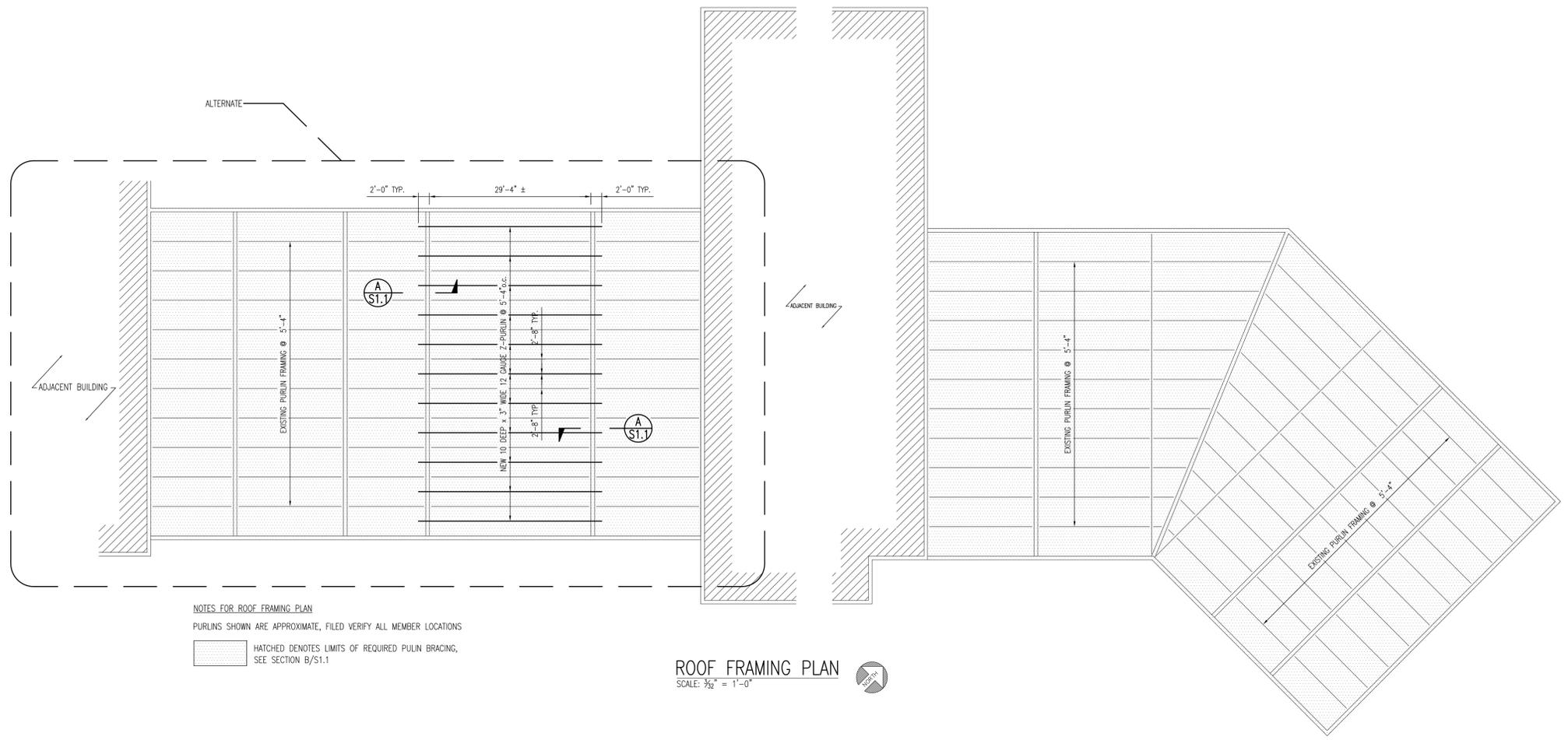
1. GENERAL:
  - A. UNLESS OTHERWISE SPECIFIED, ALL WORK AND MATERIALS SHALL CONFORM TO "FLORIDA BUILDING CODE" (FBC) REQUIREMENTS, 2010 EDITION.
  - B. DO NOT SCALE DRAWINGS. USE DIMENSIONS AND DETAILS.
  - C. THE GENERAL CONTRACTOR SHALL VERIFY THE DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. FOR DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
  - D. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THESE STRUCTURAL CONTRACT DOCUMENTS.
  - E. THE STRUCTURE SHOWN ON THESE DRAWINGS IS SELF-SUPPORTING ONLY IN ITS COMPLETED FORM. THE DESIGN, ADEQUACY, SAFETY AND STABILITY OF ERECTION BRACING, FORMWORK, SHORING, AND TEMPORARY SUPPORTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - F. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND FOR CONFORMANCE WITH THE HEALTH AND SAFETY PROVISIONS REQUIRED BY ANY REGULATORY AGENCIES. THE STRUCTURAL ENGINEER OF RECORD HAS NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR, OR THEIR EMPLOYEES WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS.

**2. DESIGN LOADS:**

- A. LIVE LOADS
  - (1) ROOF LOAD 20 PSF
- B. WIND LOAD
  - (1) ULTIMATE DESIGN WIND SPEED = 120 MPH
  - (2) RISK CATEGORY: II
  - (3) WIND EXPOSURE CATEGORY = B
  - (4) ENCLOSURE CLASSIFICATION = ENCLOSED
  - (5) INTERNAL PRESSURE,  $GCP_i = \pm 0.18$
  - (6) CLADDING EDGE WIDTH = 6'-0"
  - (7) MIN. ROOF CLADDING SUCTION/PRESSURE (PSF):
    - a. ZONE 1 = (-26/+11)
    - b. ZONE 2 = (-44/+11)
    - c. ZONE 3 = (-66/+11)

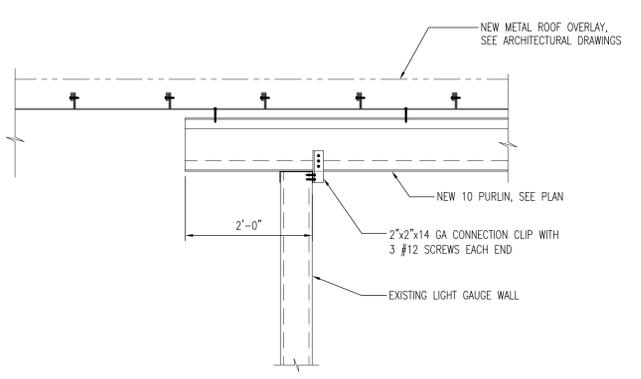

**3. MATERIALS AND CONSTRUCTION:**

- A. COLD FORMED LIGHT GAUGE ROOF FRAMING
  - (1) THESE NOTES COVER ALL COLD FORMED ROOF FRAMING MEMBERS.
  - (2) ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO ONE OR MORE OF THE FOLLOWING:
    - a. ASTM A 1011 SS GRADE 55
    - b. ASTM A 1011 HSLAS, GRADE 55 CLASS1
    - c. ASTM A 572 GRADE 55
    - d. ASTM A 529 GRADE 55
  - (3) ALL LIGHT GAUGE CONNECTION CLIPS SHALL BE FABRICATED FROM ONE OF THE FOLLOWING MATERIALS: ASTM A 1003, ASTM A 1011 OR ASTM A 572.
  - (4) INSTALL ALL FRAMING ACCORDING TO AISI'S "STANDARD FOR COLD-FORMED STEEL FRAMING - GENERAL PROVISIONS" AND TO MANUFACTURER'S WRITTEN INSTRUCTION UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED.
  - (5) U.N.O. ALL MEMBERS SHALL BE INSTALLED IN ONE PIECE LENGTHS.
  - (6) ALL MEMBERS SHALL BE FREE OF KINKS OR TWISTS.
  - (7) ALL FRAMING MEMBERS SHALL BE FASTENED TO TRACK OR CLIP WITH TWO #12 SELF DRILLING SCREWS, U.N.O.
- A. SCREW FASTENERS
  - (4) ALL SCREW FASTENERS SHALL BE SIMPSON STRONG TIE QUICK DRIVE SCREWS OR SELF-DRILLING, SELF-TAPPING SCREWS THAT MEET OR EXCEED THE ALLOWABLE LOAD VALUES, AS DETERMINED FROM 2001 AISI N15 WITH THE 2004 SUPPLEMENT SECTION E4.
  - (5) ALL FASTENERS SHALL COMPLY WITH ASTM C1002, GALVANIZED COATING, PLATED OR OIL-PHOSPHATE COATED COMPLYING WITH ASTM B633 AS NEEDED FOR REQUIRED CORROSION RESISTANCE.
  - (6) WHEN FASTENING MEMBERS, THE SCREW HEAD SHALL BE IN CONTACT WITH THE THICKER OF THE TWO MATERIALS.

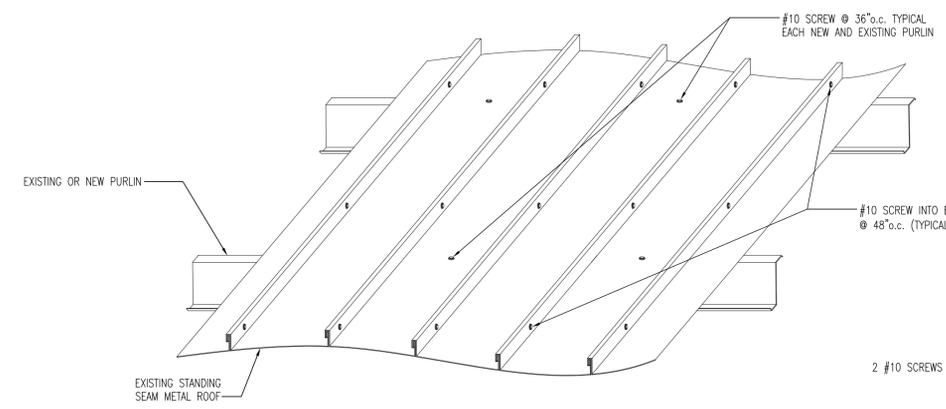


**NOTES FOR ROOF FRAMING PLAN**  
 PURLINS SHOWN ARE APPROXIMATE, FIELD VERIFY ALL MEMBER LOCATIONS  
 HATCHED DENOTES LIMITS OF REQUIRED PURLIN BRACING, SEE SECTION B/S1.1

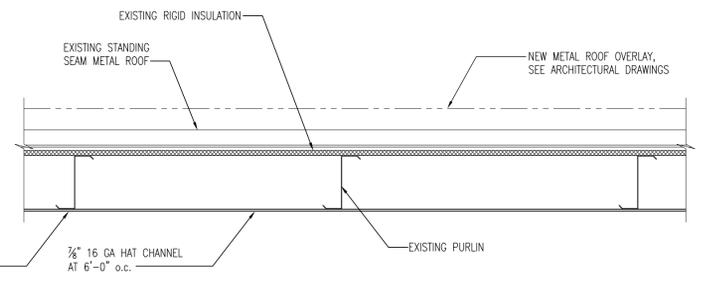
**ROOF FRAMING PLAN**  
 SCALE: 3/8"=1'-0"



**SECTION A S1.1**  
 SCALE: 3/4"=1'-0"



**OPTION 1 - ISOMETRIC**



**OPTION 2 - SECTION**

**NEW AND EXISTING PURLIN BRACING DETAILS B S1.1**  
 SCALE: 3/8"=1'-0"

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PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:
CONCEPT SCHEMATIC DESIGN				1.			
ADVANCED SCHEMATIC DESIGN				2.			
DESIGN DEVELOPMENT				3.			
50% CONSTRUCTION DOCUMENTS	PMM	PMM	9/12/2013	4.			
BID DOCUMENTS				5.			
100% CONSTR. DOCUMENTS	PMM	PMM	9/23/2013	6.			

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Description: **ROOF FRAMING PLAN**

Sheet No: **S1.1**